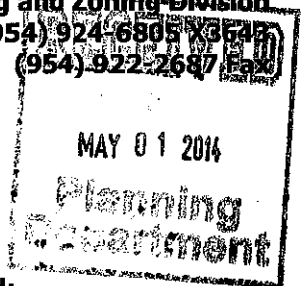


City of Dania Beach, Florida
 Department of Community Development
 Planning and Zoning Division
 (954) 924-6805 X3625
 (954) 922-2687 Fax



Standard Development Application

- Administrative Variance
- Land Use Amendment
- Plat
- Rezoning
- Site Plan
- Special Exception
- Variance
- Other: _____

Date Rec'd: _____

Petition No.: SP-040-1/1MOD

(SEE APPLICATION TYPE SCHEDULE ON PAGES 3 & 4)

THIS APPLICATION WILL NOT BE ACCEPTED UNTIL IT IS COMPLETE AND SUBMITTED WITH ALL NECESSARY DOCUMENTS. Refer to the application type at the top of this form and "Required Documentation" checklist to determine the supplemental documents required with each application. For after the fact applications, the responsible contractor of record shall be present at the board hearing. Their failure to attend may impact upon the disposition of your application. As always, the applicant or their authorized legal agent must be present at all meetings. All projects must also obtain a building permit from the City Building Division. For more information please reference the **Dania Beach Land Development Code Part 6, Development Review Procedures and Requirements.**

Location Address: Same as below

Lot(s): _____ Block: _____ Subdivision: _____

Recorded Plat Name: _____

Folio Number(s): 5042 34 01 1610 Legal Description: _____

Applicant/Consultant/Legal Representative (circle one) Gilles Grenier

Address of Applicant: 118 N. FEDERAL HWY, DANIA BEACH, FL 33004

Business Telephone: 954-920-3330 Home: 954-923-5079 Fax: 954-929-4761

E-mail address: info@dairybelleicecream.com

Name of Property Owner: SKYLAND PLAZA, LLC

Address of Property Owner: 2734 Polk Street, Suite F, Hollywood, FL 33020

Business Telephone: 954-921-9006 Home: _____ Fax: 954 921 9006

Explanation of Request: Site plan Modification
 For **Plats** please provide proposed **Plat Name** for **Variations** please attach **Criteria Statement** as per **Section 625.40 of the Land Development Code.**

Prop. Net Acreage: _____ Gross Acreage: _____ Prop. Square Footage: _____

Existing Use: _____ Proposed Use: _____

Is property owned individually, by a corporation, association, or a joint venture? _____

AUTHORIZED REPRESENTATIVE

I/we are fully aware of the request being made to the City of Dania Beach. If I/We are unable to be present, I/we hereby authorize _____ (individual/firm) to represent me/us in all matters related to this application. I/we hereby acknowledge that the applicable fee was established to offset administrative costs and is not refundable.

I/we are fully aware that all approvals automatically expire within 12 months of City of Dania Beach Planning and Zoning Board or City Commission approval, or pursuant to the expiration timeframe listed in Part 6 of the Dania Beach Land Development Code.

STATE OF FLORIDA
COUNTY OF BROWARD
The foregoing instrument
was acknowledged

By: *Gilles Grenier*
(Owner / Agent signature*)

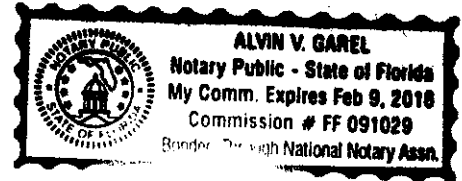
BEFORE ME THIS 5 DAY OF MAY, 2014

By:

GILLES GRENIER
(Print name of person acknowledging)

(Joint owner signature if applicable)

Notary Alvin V. Garel
(Signature of Notary Public - State of FLORIDA)



Personally known or Produced Identification _____

Type of identification produced: N/A or Drivers License _____

***If joint ownership, both parties must sign. If partnership, corporation or association, an authorized officer must sign on behalf of the group. A notarized letter of authorization from the owner of record must accompany the application if an authorized agent signs for the owner(s).**

NO APPLICATION WILL BE AUTOMATICALLY SCHEDULED FOR A MEETING.

ALL APPLICATIONS MUST BE DETERMINED COMPLETE BY STAFF BEFORE PROCESSING OCCURS.

SKYLAND PLAZA

118 N. Federal Highway, Dania Beach, FL 33004
 10-594US
 08-06-2014

Issued for SITE PLAN REVIEW

Drawing index:

NAME	REQUIREMENT	ISSUED:	ISSUED:	ISSUED:	ISSUED:
COVER	PROJECT TITLE & DRAWING LIST	✓	✓	✓	✓
SP-1	ZONING INFORMATION AND PROJECT DATA	✓	✓	✓	✓
SP-2	ORIGINAL SURVEY	✓	✓	✓	✓
SP-2	SITE PLAN	✓	✓	✓	✓
C-1	PAVING	✓	✓	✓	✓
C-2	WATER AND SANITARY	✓	✓	✓	✓
C-3	PAVEMENT MARKINGS	✓	✓	✓	✓
C-4	STORM WATER POLLUTION PREVENTION	✓	✓	✓	✓
C-5	CIVIL ENGINEERING DETAILS	✓	✓	✓	✓
C-6	CIVIL ENGINEERING DETAILS	✓	✓	✓	✓
C-7	CIVIL ENGINEERING DETAILS	✓	✓	✓	✓
C-8	CIVIL ENGINEERING DETAILS	✓	✓	✓	✓
L-1	LANDSCAPE PLAN	✓	✓	✓	✓
L-2	EXISTING TREE DISPOSITION PLAN	✓	✓	✓	✓
L-3	LANDSCAPE DETAILS AND SPECIFICATIONS	✓	✓	✓	✓
SP-4	GROUND FLOOR PLANS	✓	✓	✓	✓
SP-5	SECOND FLOOR PLANS	✓	✓	✓	✓
SP-6	BUILDING A ELEVATIONS	✓	✓	✓	✓
SP-7	BUILDING B ELEVATIONS	✓	✓	✓	✓
SP-8	CROSS AND LONGITUDINAL SECTIONS	✓	✓	✓	✓
SP-9	COLOR ELEVATIONS	✓	✓	✓	✓
SP-10	COLOR PERSPECTIVES	✓	✓	✓	✓
SP-11	PHOTOMETRIC PLAN	✓	✓	✓	✓
SP-12	EXTERIOR LIGHTING FIXTURES	✓	✓	✓	✓
SP-13	DETAILS	✓	✓	✓	✓
SP-14	DETAILS	✓	✓	✓	✓
	FIRE FLOW REQUIREMENT FOR BUILDINGS				
	WATER SUPPLY - HYDRANT FLOW TEST				
	WATER SUPPLY				
	WATER SUPPLY				

International

a

architecture

International Design Engineering & Architecture
 One Aventura Executive Center
 20900 NE 30th Ave, Suite 914
 Aventura, FL 33180
 Tel: 305.792.00153
 info@absolute-idea.com
 www.absolute-idea.com



GLOBE ENGINEERING, INC.
 WWW.CIVIL-ENGINEER.US

4839 SW 148 Avenue, Suite 607
 Fort Lauderdale, FL 33330
 Ph: 954-316-7628
 FBPE CA# 8604

MarkTinkler
 LANDSCAPE ARCHITECTURE
 EST. 1971

Land Planning, Landscape Architecture
 d. 305.985.3183
 f. 305.759.0182
 w. www.tinklerinc.com



INTERNATIONAL DESIGN ENGINEERING & ARCHITECTURE
 WWW.ABSOLUTE-IDEA.COM



1 AERIAL IMAGES



2 GENERAL SITE INFORMATION

LOT SIZE
 PARCEL 1: 27,860 SQ. FT.
 PARCEL 2: 6,427.8 SQ. FT.
 TOTAL PARCEL 1 AND 2: 34,287.8 SQ. FT.

3 SETBACKS

DESCRIPTION	VALUE
FRONT	0'-0"
REAR	5'-0"
LEFT	5'-0"
RIGHT	5'-0"
ADJACENT	5'-0"
OVERHANG	0'-0"
MIN. CLEARANCE	15' MIN.

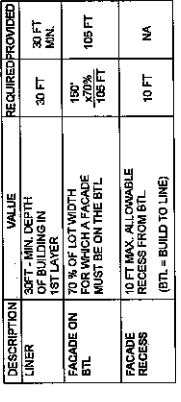
4 BUILDING FRONTAGE STANDARDS

DESCRIPTION	VALUE	REQUIRED/PROVIDED
MIN. HEIGHT	10 FT.	10 FT.
MIN. DEPTH OF BUILDING	30 FT.	30 FT.
MIN. DEPTH OF 1ST LAYER	30 FT.	30 FT. MIN.
MIN. DEPTH OF 2ND LAYER	15 FT.	105 FT.
MIN. DEPTH OF 3RD LAYER	15 FT.	105 FT.
MIN. DEPTH OF 4TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 5TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 6TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 7TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 8TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 9TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 10TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 11TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 12TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 13TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 14TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 15TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 16TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 17TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 18TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 19TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 20TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 21TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 22TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 23TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 24TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 25TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 26TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 27TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 28TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 29TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 30TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 31TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 32TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 33TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 34TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 35TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 36TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 37TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 38TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 39TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 40TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 41TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 42TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 43TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 44TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 45TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 46TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 47TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 48TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 49TH LAYER	15 FT.	105 FT.
MIN. DEPTH OF 50TH LAYER	15 FT.	105 FT.

7 PARKING DATA (CONTD.)

DESCRIPTION	VALUE	ORDINANCE
STALL DIMENSIONS (90 DEGREE PARKING ANGLE)	9'-0" WIDE x 18'-0" LONG	SEC. 265-50
STALL DIMENSIONS (60 DEGREE PARKING ANGLE)	7'-6" WIDE x 24'-0" LONG	SEC. 265-110
LOADING DIMENSIONS (90 DEGREE PARKING ANGLE)	12'-0" WIDE x 25'-0" LONG WITH A 14'-0" FOOT VERTICAL CLEARANCE	SEC. 270-10
LOADING DIMENSIONS (60 DEGREE PARKING ANGLE)	12'-0" WIDE x 25'-0" LONG WITH A 14'-0" FOOT VERTICAL CLEARANCE	SEC. 265-110 (C)(6)
ADA STACKING	WHEN A ROW OF PARKING STALLS IS IMMEDIATELY ADJACENT TO A BUILDING OR TO A LOADING AREA OF 25 FT., IS REQUIRED BETWEEN THE PROPERTY LINE AND THE ENTRANCE TO THE FIRST STALL	

8 SITE PHOTOGRAPHS (EXISTING)



9 DISCLAIMER

ZONING INFORMATION ON THIS DOCUMENT IS BASED ON THE CC (CITY CENTER) DISTRICT UNLESS OTHERWISE NOTED.
 ALL INFORMATION HAS BEEN OBTAINED FROM THE FOLLOWING SOURCES:
 1. CITY OF DANIA BEACH, FL LAND DEVELOPMENT CODE
 2. CITY OF DANIA BEACH, FL CODE OF ORDINANCES

5 HEIGHT RESTRICTIONS

DESCRIPTION	VALUE	ORDINANCE
HEIGHT	(7) STORIES, (8) FT BY RIGHT BUT VARIES BY LOCATION SINCE THE LOT IS AFFECTED BY TWO DIFFERENT HEIGHT RESTRICTIONS, THE FOLLOWING SHALL APPLY: 1. WESTERN PORTION OF THE LOT IS ALL ZONED (D) STORIES, (8) FT BY RIGHT AND UP TO AN ADDITIONAL (7) STORIES, (7) FT WITH INCENTIVES. 2. WHERE A STREET CENTERLINE FORMS THE BOUNDARY BETWEEN A NEIGHBORHOOD RESIDENTIAL DISTRICT AND A MIXED-USE DISTRICT, THE FOLLOWING STANDARDS SHALL APPLY TO ANY LOT LOCATED ALONG THE BOUNDARY STREET SHALL BE (1) FT. a. BUILDING TYPE MUST EITHER BE MANSION APARTMENT OR ROWHOUSE BUILDING. b. THE HEIGHT OF THE BUILDING SHALL BE EXACTLY (2) STORIES NOT TO EXCEED (29) FT IN HEIGHT FOR THE FIRST (8) FT MEASURED FROM THE BTL. c. AT (8) FT MEASURED FROM THE BTL, THE HEIGHT SHALL INCREASE BY (1) FT PER EACH ADDITIONAL ONE AND (1) FT PER HORIZONTAL DISTANCE MEASURED PERPENDICULAR FROM THE BTL.	SEC. 303-40 (D) OR SEC. 305-10 HEIGHT ZONES MAP SEC. 304-20 (C)

6 PARKING DATA

DESCRIPTION	VALUE	ORDINANCE	REQUIRED	PROVIDED
(M5) MULTI-FAMILY DWELLING	EFFICIENCY = 1/D.U. ONE BEDROOM = 1.25/D.U. TWO OR MORE = 1.75/D.U. MORE THAN 10 UNITS, THEN 4 PER 5 UNITS (MARKED AS GUEST PARKING)	PART 2, ARTICLE SEC. 265-50	(2) D.U./1.75 = 3.5 SPACES 4 SPACES	11 PKNG. SPACES
(M6) RESTAURANT FAST FOOD	(1) SPACE FOR 60 SF OF OSA (CUSTOMER SERVICE AREA) PLUS (1) PER 300 SF OF REMAINING GFA AND OUTDOOR SEATING AREA	SEC. 267-80	2,280 / 300 = 7.6 = 8 SPACES	18 PKNG. SPACES
(M7) RETAIL STORES OF GFA	(1) PER 300 SF	4,001 / 300 = 13.34 = 13 SPACES	16 PKNG. SPACES	16 PKNG. SPACES
LOADING	TOTAL PARKING SPACES REQUIRED 4,000 SQ. FT. - 25,000 SQ. FT. = 1 LOADING SPACE 25,001 SQ. FT. - 40,000 SQ. FT. = 2 LOADING SPACES 40,001 SQ. FT. - 60,000 SQ. FT. = 3 LOADING SPACES	PART 2, ARTICLE SEC. 270-20	1 LOADING SPACE	1 LOADING SPACE
PER SECTION 265-90	PARKING PROVISION FOR MIXED USE DEVELOPMENT (MUS) TO BE REVIEWED BY THE CITY ENGINEER. IF THE PROVISIONS OF THIS SCHEDULE, IT WAS CONCLUDED THAT THE TOTAL VALUE WAS THE SAME AS THE REQUIRED PARKING COUNT.			

GENERAL SITE INFORMATION

DESCRIPTION	VALUE	REQUIRED	PROVIDED
ZONING	CC (CITY CENTER DISTRICT - MIXED USE) PROPERTY IS OUTSIDE CITY CENTER CORE		
DENSITY	MAX. 50 DWELLING UNITS/ACRE BY RIGHT; 100 DWELLING UNITS/ACRE WITH DENSITY BONUS (SEE ARTICLE 306)	PART 3, SUBPART 1, ARTICLE 303-40	2
F.A.R.	MAX. 8.0 (F.A.R. MEANS THE GROSS FLOOR AREA OF ALL BUILDINGS ON A LOT EXPRESSED IN SQUARE FEET, DIVIDED BY THE NET LOT AREA EXPRESSED IN SQUARE FEET).	PART 3, SUBPART 1, ARTICLE 303-40	8.0 x 33,316.8 = 266,654.4 = 2.67
MIN. RECD PAVEMENT, LANDSCAPED LOT AREA	10% MAY BE REDUCED TO 0% WITH INCENTIVE BONUS (SEE ARTICLE 305). SEC. 303-30E(4) PROVIDES FOR PAYMENT-IN-LIEU	PART 3, SUBPART 1, ARTICLE 303-40	10% (5,275 / 52,316 SF)
MIN. RECD VIA LANDSCAPING	VIA LANDSCAPE AREA SHALL NOT BE LESS THEN 20% OF THE TOTAL VERTICAL USABLE AREA.	(LANDSCAPE) ARTICLE 275-100	34% (17,967 SF / 52,316 SF)
MINIMUM LIVING AREAS	MIN. BEDROOM: 700 SQ. FT. THREE BEDROOM: 900 SQ. FT. FOUR BEDROOM: 1,100 SQ. FT. ADDITIONAL BEDROOM: 1,100 SQ. FT., PLUS 150 SQ. FT. FOR EACH EFFICIENCY OR STUDIO APARTMENTS (NO BEDROOMS): 500 SQ. FT.	PART 2, ARTICLE 230-40	
OUTDOOR SEATING AREA	OUTDOOR RESTAURANT SEATING IS PERMITTED AS AN ACCESSORY USE TO AN INDOOR RESTAURANT CONTAINING AT LEAST FIVE HUNDRED (500) SQUARE FEET OF SEATING AREA. OUTDOOR SEATING REQUIRED ITS OWN CERTIFICATE OF USE.	PART 1, ARTICLE 110-200	

10 ZONING INFORMATION & Project Data

SKYLAND PLAZA
 118 N. Federal Highway, Dania Beach, FL 33004

11 CONTACT INFORMATION

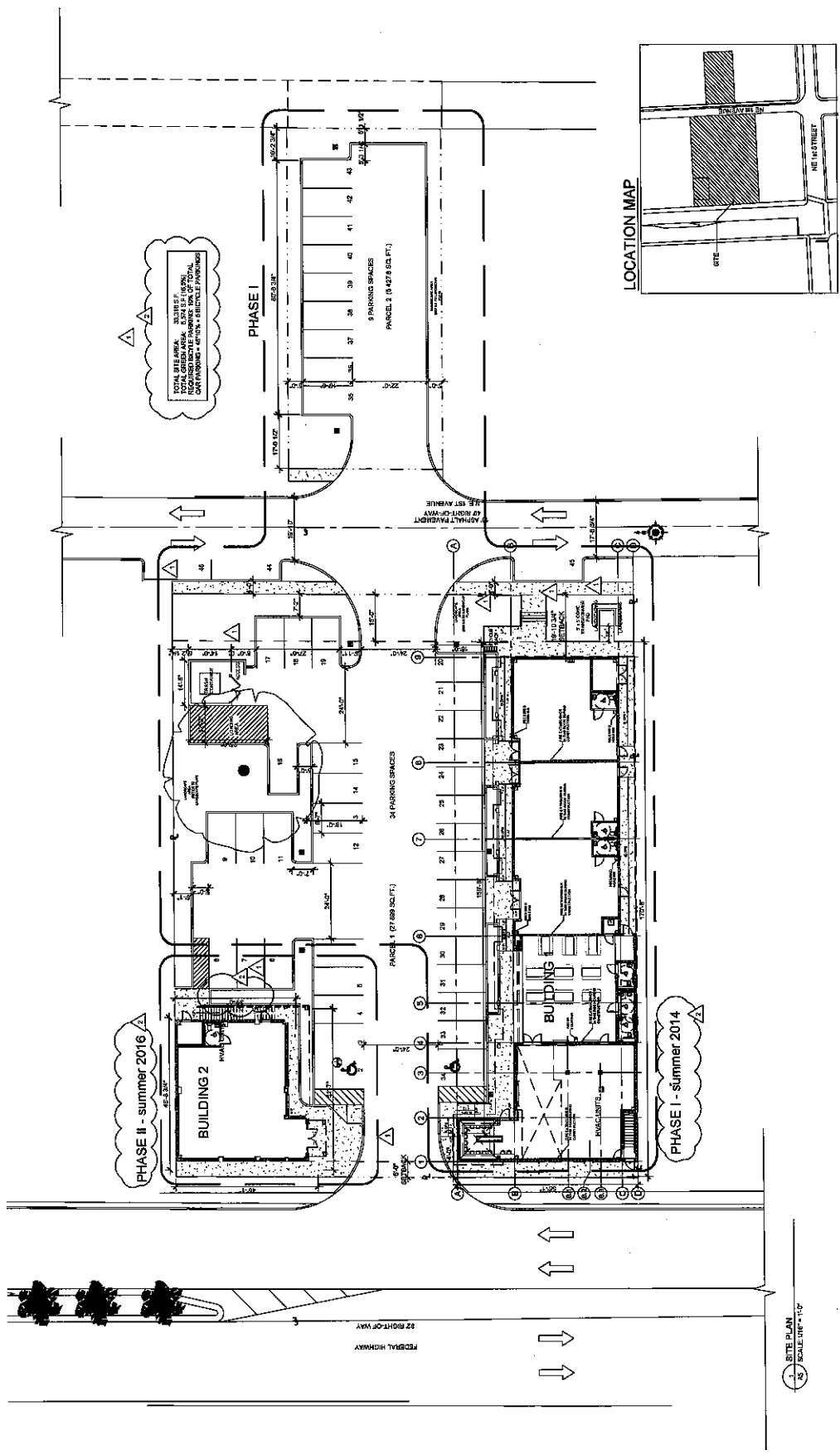
idea
 118 N. Federal Highway, Suite 100
 Dania Beach, FL 33004
 WWW.IDEASOLUTIONS.COM
 954-944-1111

12 SCALE & DATE

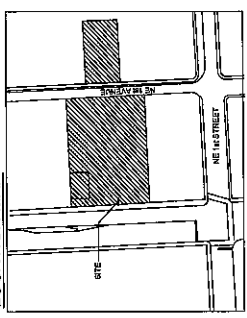
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 Date: 07-30-2014

13 SHEET INFORMATION

Sheet: SP1



LOCATION MAP



1 SITE PLAN
2 SCALE: 1/16" = 1'-0"

SKYLAND PLAZA
118 N. Federal Highway, Dania Beach, FL 33004 10-594105

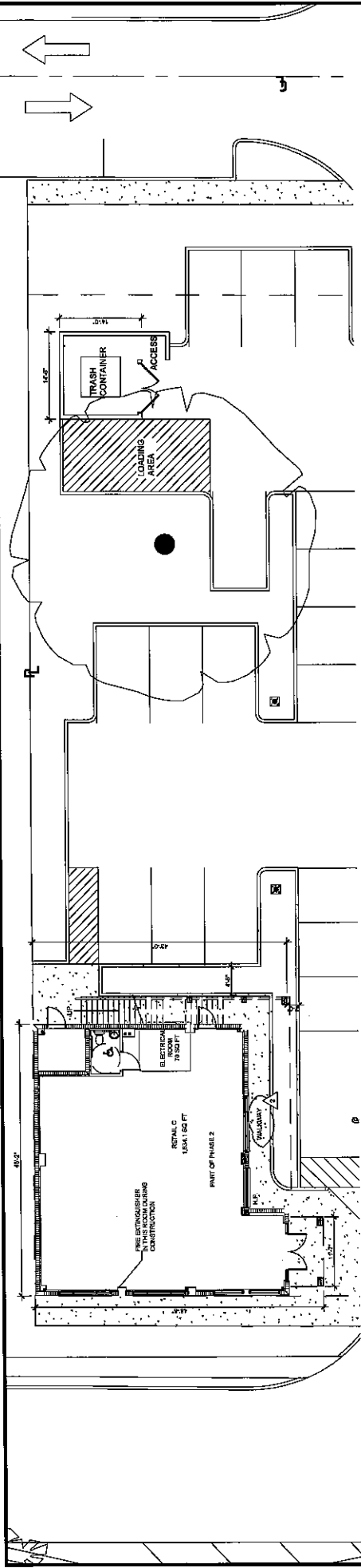


SITE PLAN
Site plan

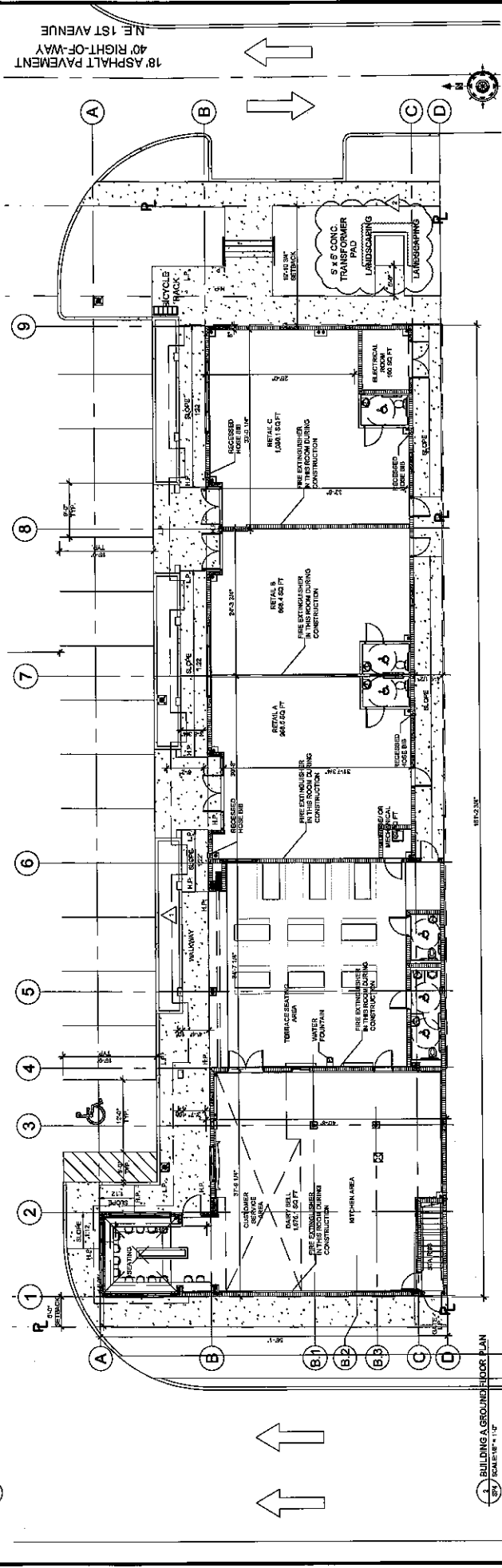
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Sheet: SP2

idea
www.idea-architects.com
118 N. Federal Highway, Dania Beach, FL 33004
Tel: 954.353.1100
Fax: 954.353.1101
www.idea-architects.com



BUILDING B GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING A GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

18' ASPHALT PAVEMENT
40' RIGHT-OF-WAY
N.E. 1ST AVENUE

118 N. Federal Highway, Dania Beach, FL 33004
10-594JUS

Scale: 1/8" = 1'-0" Date: 07-30-2014

SKYLAND PLAZA
118 N. Federal Highway, Dania Beach, FL 33004
10-594JUS

FLOOR FLOOR PLANS
Ground floor plans

idea
www.idealife.com

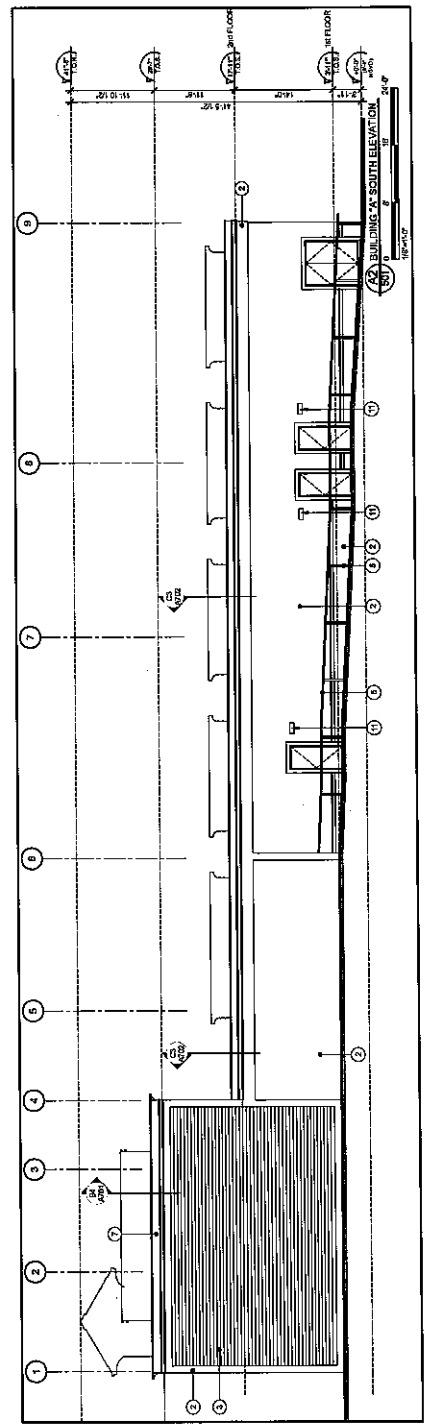
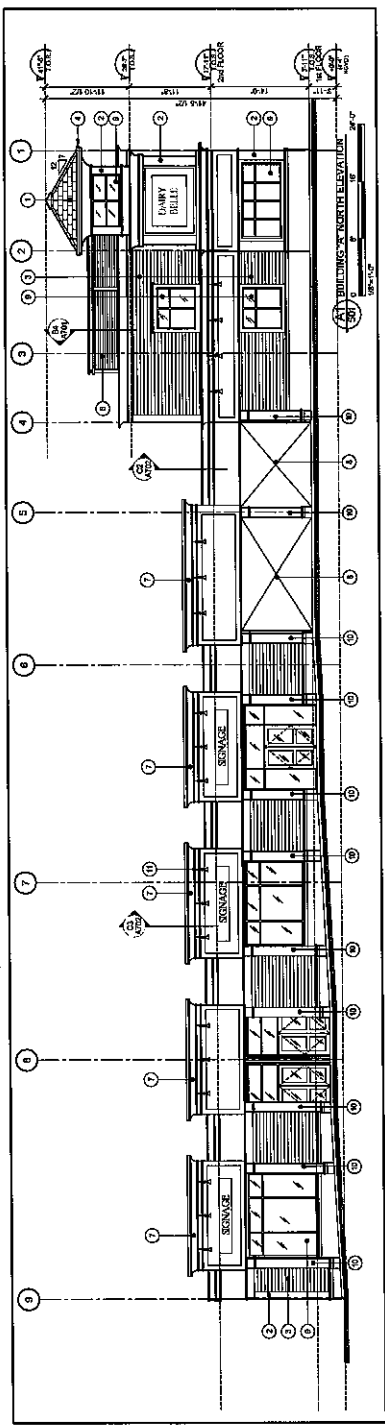
Sheet: SP4

CONSTRUCTION LEGEND:

- 1 CONCRETE WHITE ROOF TILES
- 2 APPLIED STUCCO, SANDWICH FINISH, WITH FINISH TECHNICAL FINISH CONT.
- 3 APPLIED STUCCO WITH 1/2" POLYSTYRENE INSULATION BOARD OF G.C. BOARD, LOUDED WEATHER RESISTIVE SHEATHING
- 4 ALUMINUM POWDER-COATED ARCHITECTURAL GLITTER PAINT
- 5 ALUMINUM POWDER-COATED PAINT
- 6 ALUMINUM POWDER-COATED ROOF PANELS
- 7 ORNAMENTAL WELDING, REFER TO DETAILS
- 8 ACCORDION METAL GLITE
- 9 IMPACT RESISTANT WINDOWING WITH ALUMINUM FINISH, TYP.
- 10 COMMERCIAL COLUMN
- 11 LIGHT FIXTURE SEE IFC FOR ELECTRIC CONNECTION

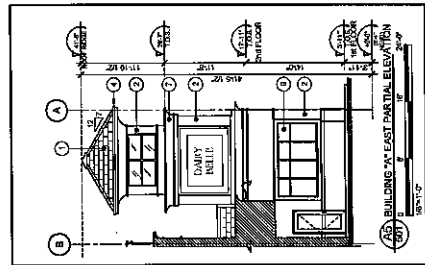
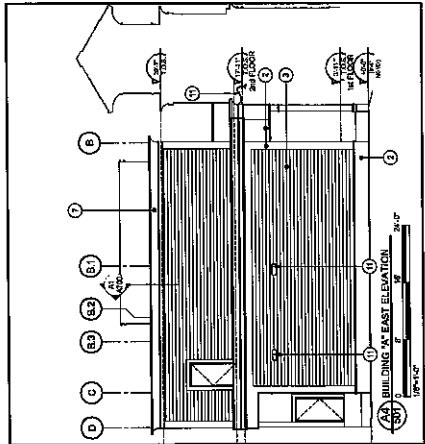
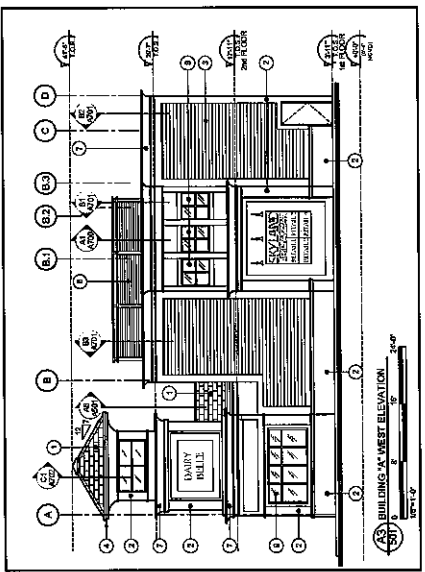
KEY LEGEND:

- APPLIED STUCCO WITH POLYSTYRENE INSULATION
- ROOF TILES



- CONSTRUCTION LEGEND:**
- 1 CONCRETE WHITE ROOF TILES
 - 2 1/2" POLYURETHANE INSULATION WITH ARCHITECTURAL FINISH COAT
 - 3 APPLIED STUCCO DOWN UP O.C. RESIST TO WAT LEAKAGE (See Item 2057-80)
 - 4 ALUMINUM POWDER-COATED ARCHITECTURAL BUTTER
 - 5 ALUMINUM POWDER-COATED ARCHITECTURAL ROOF SCREEN
 - 6 ALUMINUM POWDER-COATED ROOF SCREEN
 - 7 CONVENTIONAL MOLDING REFER TO DETAILS
 - 8 ACCORDION METAL GATE
 - 9 IMPACT RESISTANT WINDOWS WITH ALUMINUM FINISH, TYP.
 - 10 CONVENTIONAL COLUMN
 - 11 IMPACT RESISTANT WINDOW WITH ELECTRIC CONNECTION

- KEY LEGEND:**
- 1 CONCRETE WHITE ROOF TILES
 - 2 1/2" POLYURETHANE INSULATION WITH ARCHITECTURAL FINISH COAT
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 - 10 CONVENTIONAL COLUMN
 - 11 IMPACT RESISTANT WINDOW WITH ELECTRIC CONNECTION



SKYLAND PLAZA
 118 N. Federal Highway, Dania Beach, FL 33004 10-594US

Scale: NTS Date: 07-30-2014

Sheet: SP10

SKYLAND PLAZA

118 N. FEDERAL HIGHWAY

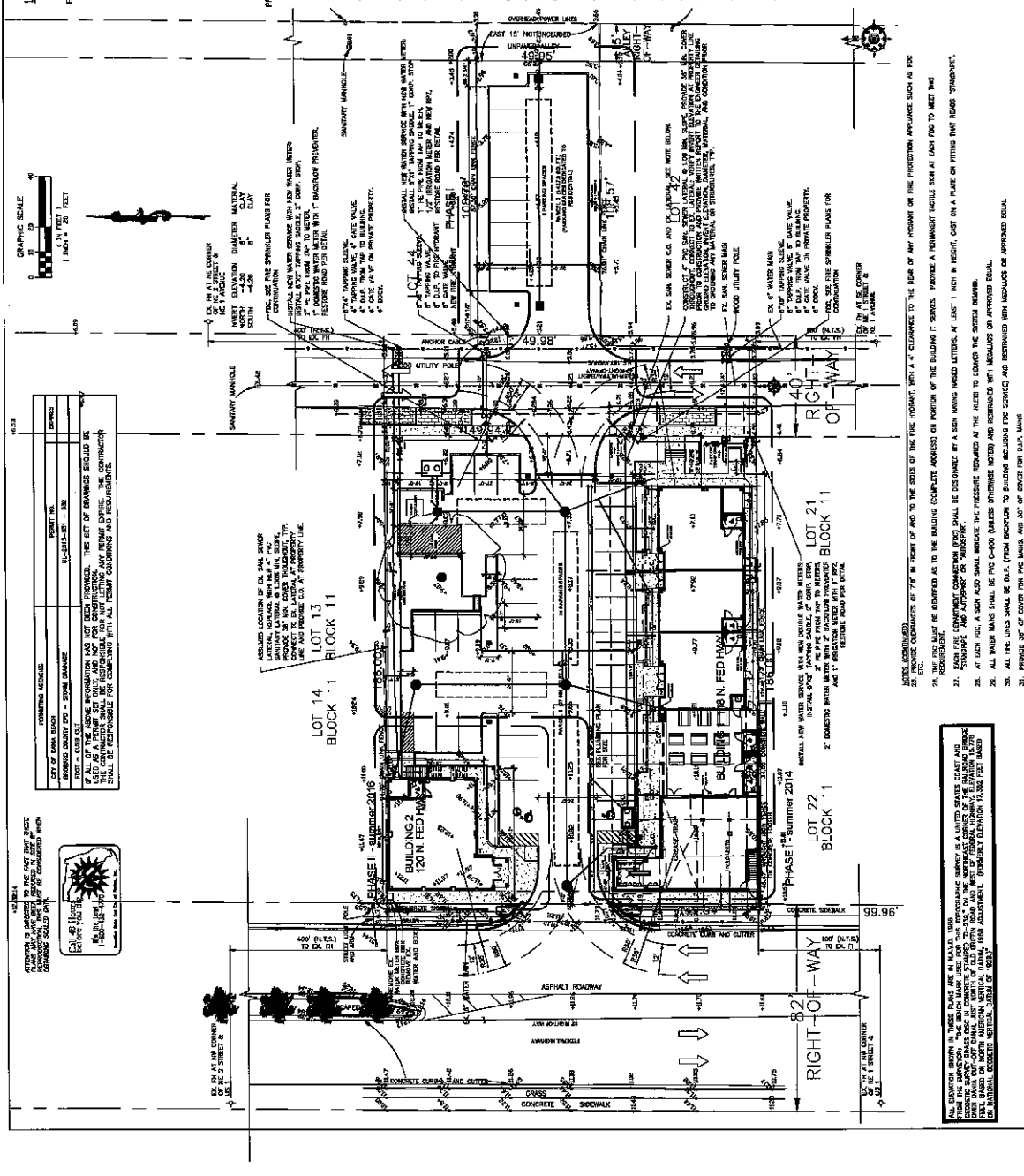
DAINA BEACH, FLORIDA

WATER AND SANITARY SEWER

NO.	DESCRIPTION	DATE
1	CITY CODES	8-28-12
2	CONTRACT	8-28-12
3	REVISED PER PLAN APPROVAL	8-28-12
4	REVISED PER PLAN APPROVAL	8-28-12
5	REVISED PER PLAN APPROVAL	8-28-12
6	REVISED PER PLAN APPROVAL	8-28-12
7	REVISED PER PLAN APPROVAL	8-28-12
8	REVISED PER PLAN APPROVAL	8-28-12
9	REVISED PER PLAN APPROVAL	8-28-12
10	REVISED PER PLAN APPROVAL	8-28-12

Globe Engineering, Inc.
 Civil Engineering - Land Planning - Construction Management
 4909 S.W. 14th Avenue
 Fort Lauderdale, FL 33304
 Phone: (954) 344-1000
 Fax: (954) 344-1000
 www.globe-engineering.com

NO.	DESCRIPTION	DATE
1	CONTRACTOR TO VERIFY EXISTING AND PROPOSED DIMENSIONS, ELEVATIONS AND PROPOSED ELEVATIONS OF ALL UTILITIES AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER, RECORDING THE DATE OF THE DISCREPANCY.	
2	THE LOCATION, SIZE AND MATERIAL OF THE EXISTING AND PROPOSED UTILITIES SHALL BE INDICATED ON THE DRAWINGS AND PROPERLY IDENTIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, SIZE AND MATERIAL OF THE UTILITIES AND SHALL PROVIDE A LETTER OF NOTIFICATION TO THE CITY ENGINEER AND THE ADJACENT PROPERTY OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, SIZE AND MATERIAL OF THE UTILITIES AND SHALL PROVIDE A LETTER OF NOTIFICATION TO THE CITY ENGINEER AND THE ADJACENT PROPERTY OWNERS.	
3	CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, SIZE AND MATERIAL OF THE UTILITIES AND SHALL PROVIDE A LETTER OF NOTIFICATION TO THE CITY ENGINEER AND THE ADJACENT PROPERTY OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, SIZE AND MATERIAL OF THE UTILITIES AND SHALL PROVIDE A LETTER OF NOTIFICATION TO THE CITY ENGINEER AND THE ADJACENT PROPERTY OWNERS.	
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21. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS OF THE "TOTAL EXISTING STRUCTURE" WITH THE CITY ENGINEER AND RECORD ALL DIMENSIONS ON THE DRAWINGS.
 22. EXISTING ALL DIMENSIONS ARE AS SHOWN ON THE DRAWINGS.
 23. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 24. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
 25. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
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 31. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE STRUCTURE UNLESS OTHERWISE NOTED.

NO.	REVISIONS
1	AS NOTED
2	REVISED PER COMMENTS
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100	REVISED PER COMMENTS

PAVEMENT MARKINGS AND SIGNAGE
DAVIA BEACH, FLORIDA
SKYLAND PLAZA

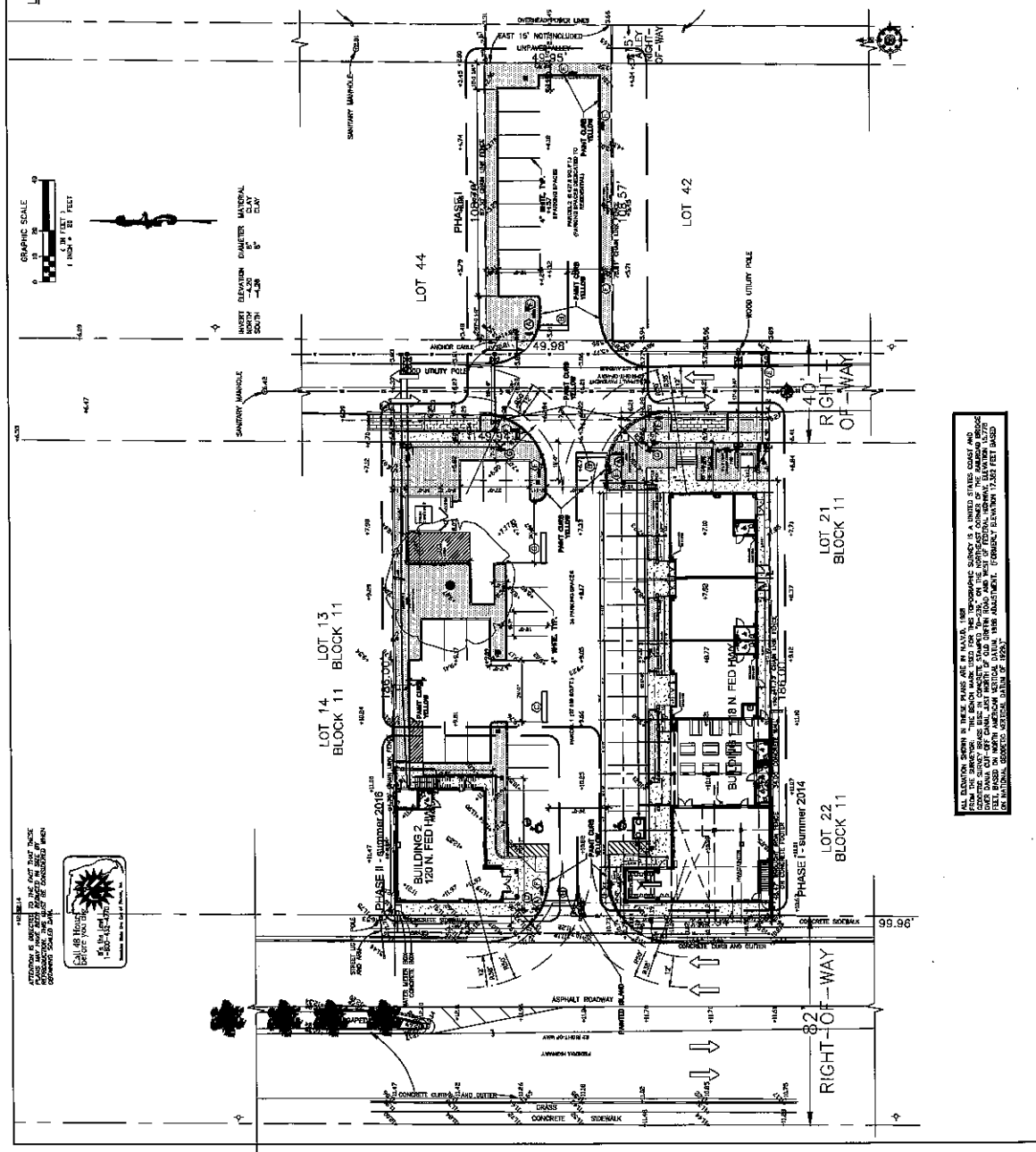
Globe Engineering, Inc.
 Civil Engineering - Land Planning - Construction Management
 4609 S.W. 14th Avenue
 Fort Lauderdale, FL 33309
 Phone: 954-566-7740
 Fax: 954-566-7740
 www.ge-inc.com
 Certificate of Authorization No. 6004

LEGEND:

- (A) STOP SIGN (R1-1)
- (B) 24" STOP BAR & YELLOW LETTERS (R1-2)
- (C) 24" STOP BAR (R1-3)
- (D) RIGHT TURN ONLY SIGN (R3-5R)
- (E) PEDESTRIAN SIGN (W1-4)
- (F) NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT SIGN, 12"x12", RED LETTERS WITH WHITE BACKGROUND, 7' FT IN HEIGHT FROM ROADWAY TO TOP OF SIGN, WITH SORT OF TROPIC PALM AND OF A NUMBER OF 25 FEET IN HEIGHT.
- (G) THE FIRE DEPARTMENT CONNECTION (FDC) SHALL BE DESIGNATED BY A PERMANENT FACILITY SIGN AT THE FIRE TO MEET THIS REQUIREMENT.

NOTES:

1. ALL SIGNAGE SHALL BE PAINTED.
2. STOP BARS AND PAINTED SIGNS SHALL BE THERMOPLASTIC.
3. ALL SIGNS ORIENTED TO BE VIEWED FROM THE FRONT OF THE TRAVEL, WITH A 4' CLEARANCE TO THE REAR OF ANY TRAFFIC OF THE PROPOSED SIGNAGE.
4. THE SIGN SHALL BE ORIENTED TO BE VIEWED FROM THE FRONT OF THE TRAVEL.
5. EACH FIRE DEPARTMENT CONNECTION SHALL BE IDENTIFIED BY A SIGN MOUNTED HIGHER, AT LEAST 1' WITH HIGH-CONTRAST LETTERS, "FIRE DEPARTMENT CONNECTION" AND "FIRE DEPARTMENT CONNECTION".
6. A SIGN ALSO SHALL INDICATE THE PRESSURE REQUIRED AT THE INLETS TO DELIVER THE SYSTEM DEMAND.

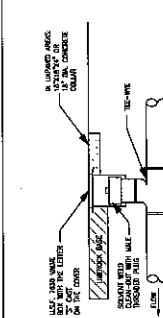


GRAPHIC SCALE
 1" = 20' FEET
 0 10 20 30 40 50 60 70 80 90 100

Call for Notes
 Notes are located on the drawings and are to be read in conjunction with the drawings.

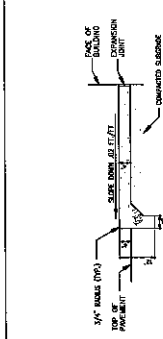
ALL ELEVATIONS SHOWN IN THESE PLANS ARE IN NAUTIC MEASUREMENTS UNLESS OTHERWISE SPECIFIED. THE VERTICAL CURVATURE OF THE EARTH HAS BEEN CONSIDERED IN THE DETERMINATION OF THE ELEVATIONS. THE ELEVATIONS ARE BASED ON NORTH AMERICAN MEAN SEA LEVEL DATUM, YEAR ADJUSTMENT, CORRECTED ELEVATION 1985 FEET BASED ON NATIONAL GEODETIC DATUM OF 1983.

118 N. FEDERAL HIGHWAY DANIA BEACH, FLORIDA CIVIL ENGINEERING DETAILS		4629 S.W. 145 Avenue Fort Lauderdale, FL 33309 Civil Engineering - Land Planning - Construction Management Globe Engineering, Inc. Certificate of Accreditation No. 2004
SHEET NO. 2011-003	SHEET TITLE PRECAST CATCH BASIN - TYPE "C"	PROJECT NO. 118NFB-01
DATE 08-11-2011	DRAWN BY J. L. BROWN	CHECKED BY M. J. BROWN
SCALE 1/4" = 1'-0"	PROJECT LOCATION 118 N. FEDERAL HIGHWAY DANIA BEACH, FLORIDA	PROJECT DESCRIPTION CIVIL ENGINEERING DETAILS



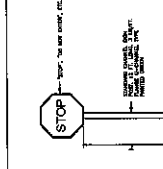
SANITARY SEWER AND STORM SEWER CLEAN-OUT DETAIL ON PRIVATE PROPERTY
N.T.S.

NOTES: 1. THIS DETAIL IS FOR USE ON PRIVATE PROPERTY ONLY. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



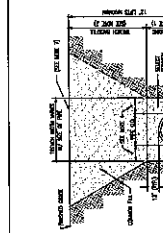
SIDEWALK EXPANSION JOINT
N.T.S.

NOTES: 1. SIDEWALK JOINT SHALL BE 1/4" WIDE. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



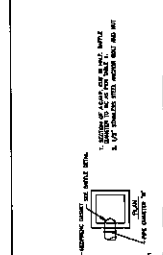
STOP SIGN DETAIL
N.T.S.

NOTES: 1. SIGN POST SHALL BE 1 1/2" DIA. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



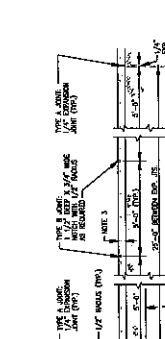
BEDDING AND TRENCHING DETAIL
N.T.S.

NOTES: 1. BEDDING SHALL BE 4" THICK. 2. TRENCHING SHALL BE 4" DEEP. 3. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 4. SEE PLAN FOR TYPICAL CURB DETAIL.



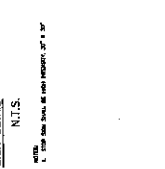
BRACKET DETAIL
N.T.S.

NOTES: 1. BRACKET SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



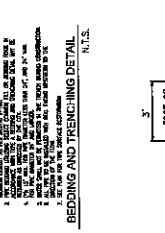
STANDARD CURB ENDING DETAIL
N.T.S.

NOTES: 1. CURB SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



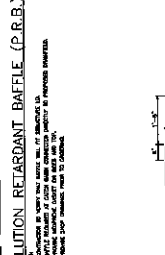
CONCRETE FLUME DETAIL
N.T.S.

NOTES: 1. FLUME SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



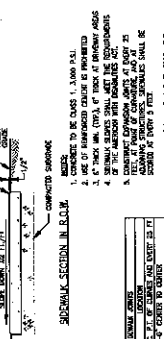
CONCRETE CURB AND GUTTER DETAIL
N.T.S.

NOTES: 1. CURB SHALL BE 4" HIGH. 2. GUTTER SHALL BE 4" DEEP. 3. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 4. SEE PLAN FOR TYPICAL CURB DETAIL.



POLLUTION RETARDANT BAFFLE DETAIL
N.T.S.

NOTES: 1. BAFFLE SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



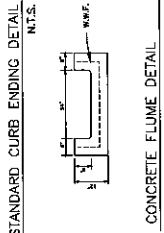
PRE-CAST DRAINAGE WELL STRUCTURE
N.T.S.

NOTES: 1. WELL SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



SIDEWALK DETAIL
N.T.S.

NOTES: 1. SIDEWALK SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



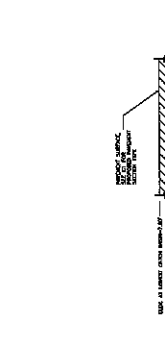
PRECAST CATCH BASIN - TYPE "C"
N.T.S.

NOTES: 1. BASIN SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



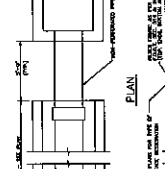
TYPICAL EXCAVATION TRENCH
N.T.S.

NOTES: 1. TRENCH SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



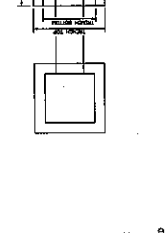
TYPICAL EXCAVATION TRENCH - EAST OF NE 1ST AVENUE
N.T.S.

NOTES: 1. TRENCH SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



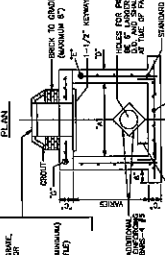
TYPICAL EXCAVATION TRENCH - WEST OF NE 1ST AVENUE
N.T.S.

NOTES: 1. TRENCH SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



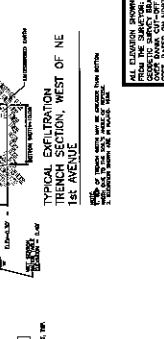
TYPICAL EXCAVATION TRENCH - SECTION
N.T.S.

NOTES: 1. TRENCH SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



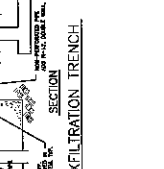
TYPICAL EXCAVATION TRENCH - PLAN
N.T.S.

NOTES: 1. TRENCH SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



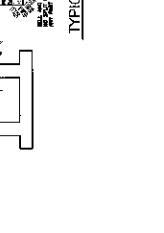
TYPICAL EXCAVATION TRENCH - SECTION
N.T.S.

NOTES: 1. TRENCH SHALL BE 4" HIGH. 2. CONCRETE SHALL BE 2800 PSI MINIMUM WITH 4% STEEL FIBERS. 3. SEE PLAN FOR TYPICAL CURB DETAIL.



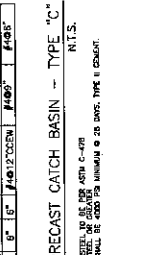
TYPICAL EXCAVATION TRENCH - SECTION
N.T.S.

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TYPICAL EXCAVATION TRENCH - SECTION
N.T.S.

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TYPICAL EXCAVATION TRENCH - SECTION
N.T.S.

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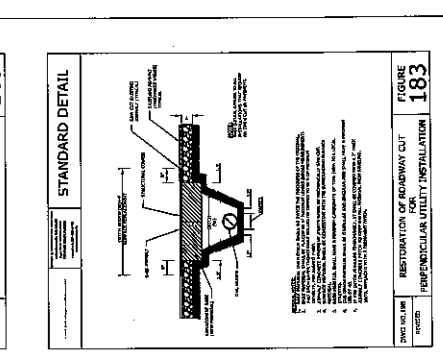
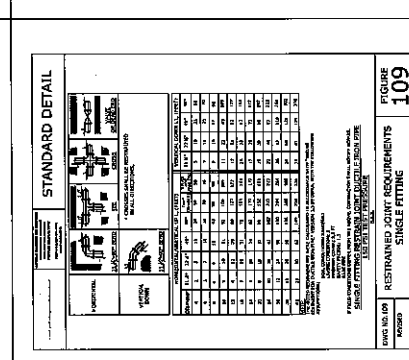
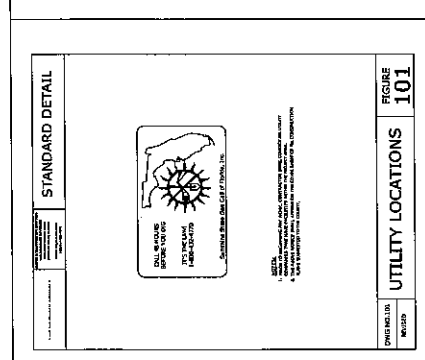
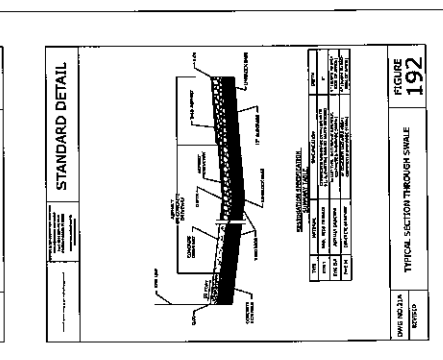
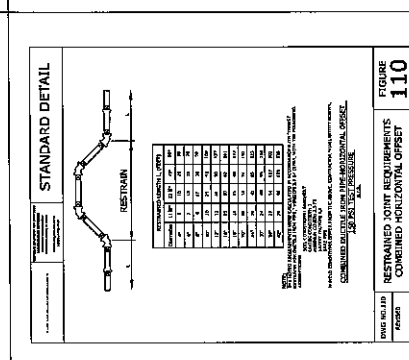
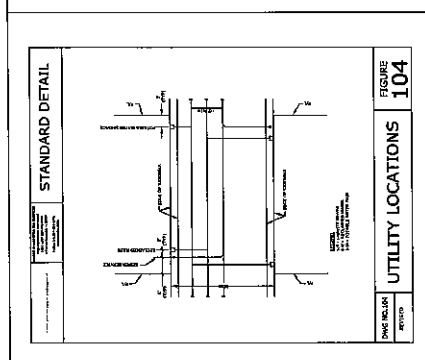
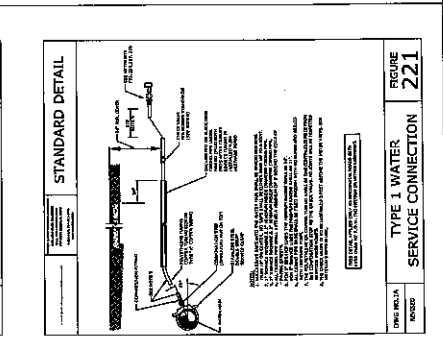
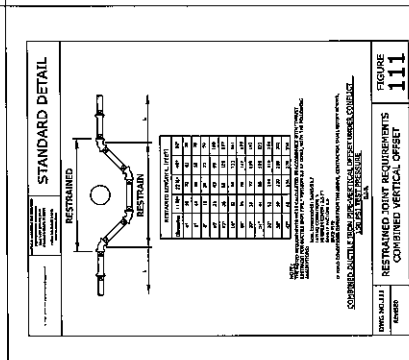
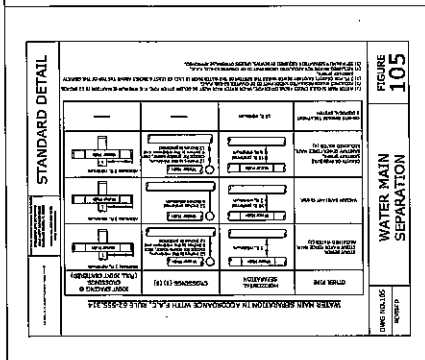
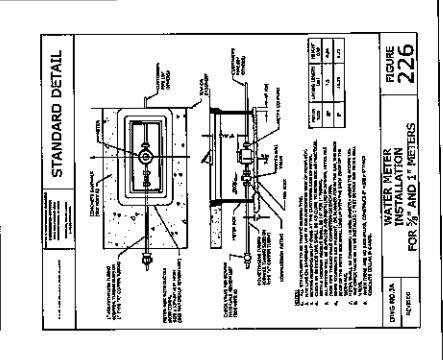
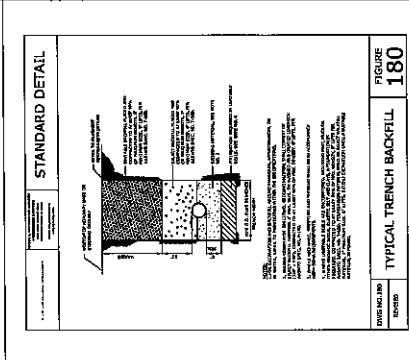
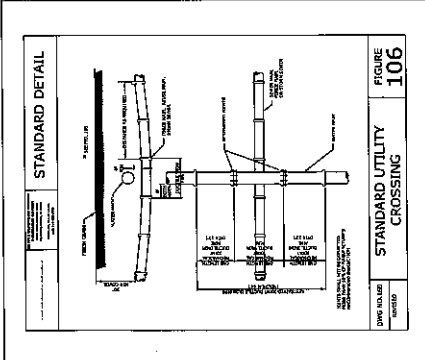
ALL ELEVATIONS SHOWN IN THESE PLANS ARE IN SEAS LEVEL UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE BASED ON THE NATIONAL GEODESIC DATUM OF 1983. ALL ELEVATIONS ARE BASED ON THE NATIONAL GEODESIC DATUM OF 1983. ALL ELEVATIONS ARE BASED ON THE NATIONAL GEODESIC DATUM OF 1983.

DATE	5-12-2012
BY	WORLD AM
NO.	000000

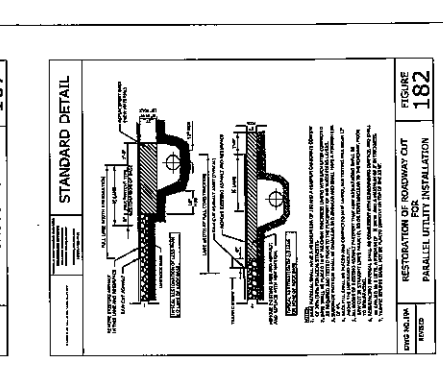
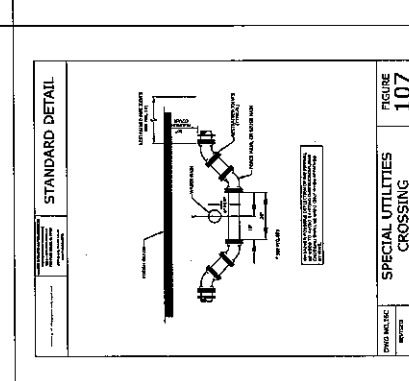
CIVIL ENGINEERING DETAILS
 118 N. FEDERAL HIGHWAY
 DANIA BEACH, FLORIDA
SKYLAND PLAZA

Globe Engineering, Inc.
 Civil Engineering - Land Planning - Construction Management
 4639 SW 145 Avenue, Suite 607
 Fort Lauderdale, FL 33309
 Phone: 954-916-7228
 Fax: 954-916-7228
 Website: www.globeeng.com

Project No. 1180
 Date: 5/17/12
 Drawing No. 1180-010
 Sheet No. 010 of 010



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	5/17/12
2	ISSUED FOR CONSTRUCTION	5/17/12
3	ISSUED FOR AS-BUILT	5/17/12
4	ISSUED FOR RECORD	5/17/12
5	ISSUED FOR FINAL REVIEW	5/17/12
6	ISSUED FOR ARCHIVE	5/17/12
7	ISSUED FOR CLOSURE	5/17/12
8	ISSUED FOR DESTRUCTION	5/17/12
9	ISSUED FOR REPAIR	5/17/12
10	ISSUED FOR REPLACEMENT	5/17/12
11	ISSUED FOR MODIFICATION	5/17/12
12	ISSUED FOR ADDITION	5/17/12
13	ISSUED FOR REMOVAL	5/17/12
14	ISSUED FOR REVISION	5/17/12
15	ISSUED FOR CORRECTION	5/17/12
16	ISSUED FOR AMENDMENT	5/17/12
17	ISSUED FOR SUPPLEMENT	5/17/12
18	ISSUED FOR ADDENDUM	5/17/12
19	ISSUED FOR CHANGE ORDER	5/17/12
20	ISSUED FOR VARIATION	5/17/12
21	ISSUED FOR WAIVER	5/17/12
22	ISSUED FOR SURRENDER	5/17/12
23	ISSUED FOR CANCELLATION	5/17/12
24	ISSUED FOR REVOCATION	5/17/12
25	ISSUED FOR ANNULLMENT	5/17/12
26	ISSUED FOR TERMINATION	5/17/12
27	ISSUED FOR RESCINDMENT	5/17/12
28	ISSUED FOR REPEAL	5/17/12
29	ISSUED FOR REPEL	5/17/12
30	ISSUED FOR REPEL	5/17/12
31	ISSUED FOR REPEL	5/17/12
32	ISSUED FOR REPEL	5/17/12
33	ISSUED FOR REPEL	5/17/12
34	ISSUED FOR REPEL	5/17/12
35	ISSUED FOR REPEL	5/17/12
36	ISSUED FOR REPEL	5/17/12
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38	ISSUED FOR REPEL	5/17/12
39	ISSUED FOR REPEL	5/17/12
40	ISSUED FOR REPEL	5/17/12
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47	ISSUED FOR REPEL	5/17/12
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50	ISSUED FOR REPEL	5/17/12



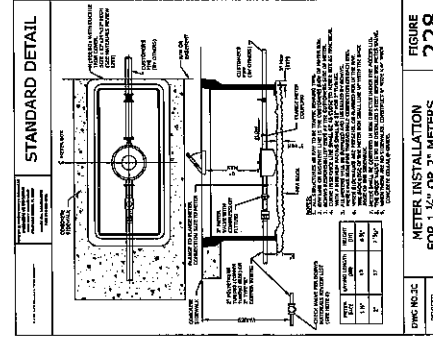


FIGURE 228
METER INSTALLATION
FOR 1 1/2' OR 2' METERS

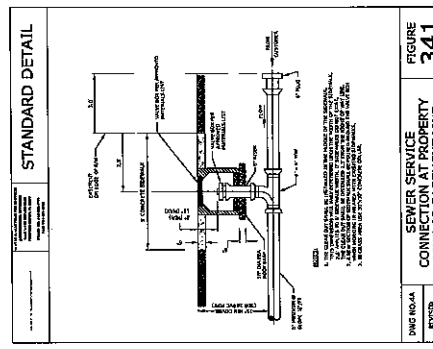


FIGURE 341
SEWER SERVICE
CONNECTION AT PROPERTY
LINE OR EASEMENT LINE

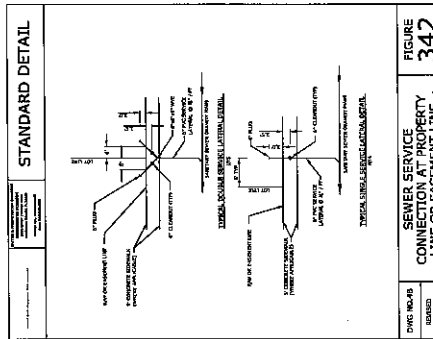


FIGURE 342
SEWER SERVICE
CONNECTION AT PROPERTY
LINE OR EASEMENT LINE

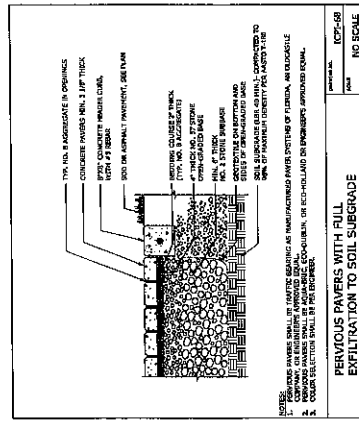


FIGURE 236
PERMEOUS PAVERS WITH GILL
EXFILTRATION TO SOIL SUBGRADE

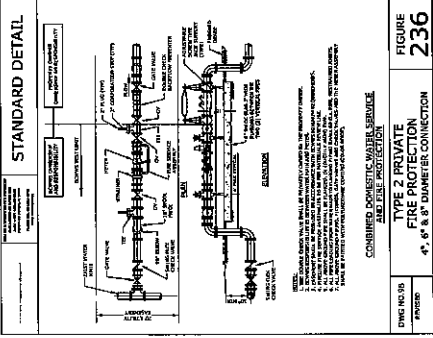
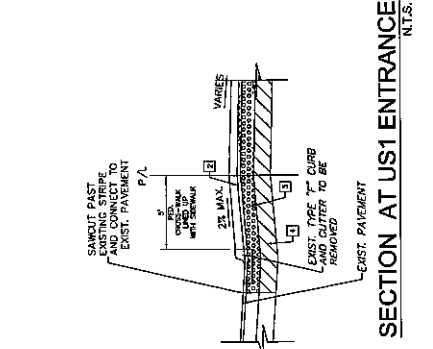
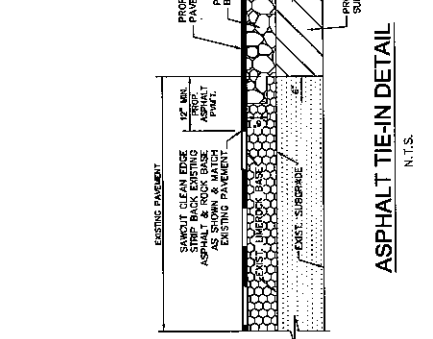


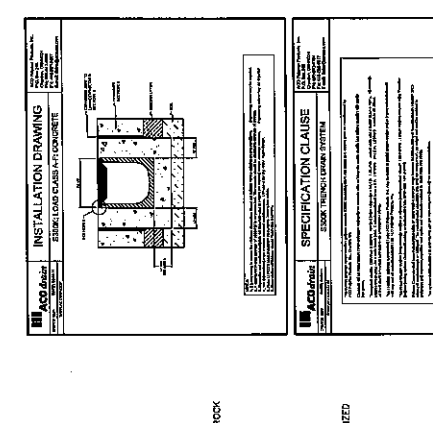
FIGURE 236
COMBINED DOMESTIC WATER SERVICE
PRIVATE
FLANGE
CONNECTION



SECTION AT US1 ENTRANCE
N.T.S.



ASPHALT TIE-IN DETAIL
N.T.S.



INSTALLATION DRAWING
SPECIFICATION CLAUSE

OFF-SITE MARKER NOTES:

1. FOR PARALLEL MARKER, SET IN FOOT HIGH 2 1/2" DIA. SHERS 6" OF 6.
2. FOR PERPENDICULAR MARKER, SET IN FOOT HIGH 2 1/2" DIA. SHERS 6" OF 6.
3. 12" LAMBRIDGE BASE, PROUD (8" DIA. CONES) COMPARED TO 2" (A.S.H.T.O. T-1-10).
4. ALL MARKERS SHALL BE SET IN ACCORDANCE WITH THE FOLLOWING:
5. PLASTIC / 4-8 MATERIALS TO BE REMOVED FROM THE EDGE OF EXISTING PAVEMENT.
6. 1/2" DIA. MARKERS SHALL BE SET IN ACCORDANCE WITH 7-21.02.
7. REFLECTIVE PAVEMENT MARKING SHALL BE INSTALLED ON TOP OF THE CURB (TYPE "D" MARKERS) AND ON THE SIDE OF THE CURB (TYPE "C" MARKERS) IN ACCORDANCE WITH APPLICABLE SECTION PROVISIONS. THE REFLECTIVE PAVEMENT MARKERS SHALL BE INSTALLED WITHIN 72 HOURS OF CONSTRUCTION OF THE FLANGE NOSE.
8. FINISH AND INSTALL REFLECTIVE PAINT ON THE FACE OF CURB FOR THE LIMIT SIGN. THE MINIMUM NET FILM THICKNESS FOR ALL PAINTED SURFACES SHALL BE 3.0 MILS.

9. ALL PAVEMENT MARKINGS ADJACENT TO AND IN THE PUBLIC RIGHT OF WAY SHALL BE RESISTIVE THERMOPLASTIC.

10. ALL STOP SIGNS SHALL BE 30" X 36" HIGH INTEREST RESISTIVE MATERIAL.

11. PAVEMENT MARKINGS IN PHASES SHALL BE PROVIDED THE 3/4" DIA. BALL APPROX WITH CONTACT CURB OR THERMOPLASTIC MARKING TO A CONCRETE CURB OR WITH THE EXISTING CURB.

12. REFLECTIVE PAVEMENT MARKERS ARE TO BE PLACED ALONG THE ENTIRE LENGTH OF THE PROJECT FOR A MINIMUM OF 10' ON EITHER SIDE OF THE CURB. THE MARKERS SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING:

13. ALL MATERIALS AND SUBSTITUTIONS (TYPICAL) SHALL BE APPROVED BY THE D.O.T. "DESIGN STANDARDS" SECTION.

14. THE CONTRACTOR MUST CALL 813-463-8000 AT 8:00 AM-5:00 PM AT LEAST 48 HOURS BEFORE ANY EXCAVATION WITHIN THE D.O.T. R/W TO DETERMINE THE LOCATION OF THE EXISTING TRAFFIC SIGNAL INTERCONNECT CABLE.

15. AT THE END OF EACH WORK PERIOD, ANY STOP-SIGNS OR OTHER SIGNS SHALL BE REMOVED FROM THE ROADWAY AND STORED NEARBY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

17. ALL 40' LINE CLOSURE SIGNS SHALL BE COVERED AND LAMPS ARE NOT COVERED. NO LAMPS COVERED ARE NOT COVERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

18. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE D.O.T. STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION (2003), STANDARD SPECIFICATIONS (2003) AND THE 2003 STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION (2003).

19. IF THE CONTRACTOR IS ON A ROADWAY THAT HAS BEEN SELECTED AS A HIGHWAY OR INTERSTATE ROUTE, THE CONTRACTOR AT THE DISCRETION OF THE CONTRACTOR'S INSURANCE CARRIER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

21. THE LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

23. ALL NOT LANE CLOSURE SIGNS SHALL BE COVERED WITH LAMPS ARE NOT COVERED. NO LAMPS COVERED ARE NOT COVERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

24. STOPPING SHALL BE IN ACCORDANCE WITH SECTION 713.

25. ALL LAMPS MUST BE IN ACCORDANCE WITH SECTION 713.

26. ALL LAMPS MUST BE IN ACCORDANCE WITH SECTION 713.

27. ALL LAMPS MUST BE IN ACCORDANCE WITH SECTION 713.

18. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE D.O.T. STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION (2003), STANDARD SPECIFICATIONS (2003) AND THE 2003 STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION (2003).

19. IF THE CONTRACTOR IS ON A ROADWAY THAT HAS BEEN SELECTED AS A HIGHWAY OR INTERSTATE ROUTE, THE CONTRACTOR AT THE DISCRETION OF THE CONTRACTOR'S INSURANCE CARRIER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

21. THE LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

23. ALL NOT LANE CLOSURE SIGNS SHALL BE COVERED WITH LAMPS ARE NOT COVERED. NO LAMPS COVERED ARE NOT COVERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL TRAFFIC SIGNALS AND OTHER TRAFFIC SIGNALS.

24. STOPPING SHALL BE IN ACCORDANCE WITH SECTION 713.

25. ALL LAMPS MUST BE IN ACCORDANCE WITH SECTION 713.

26. ALL LAMPS MUST BE IN ACCORDANCE WITH SECTION 713.

27. ALL LAMPS MUST BE IN ACCORDANCE WITH SECTION 713.

Globe Engineering, Inc.
Civil Engineering - Land Planning - Construction Management
1055 SW 14th Avenue, Suite 207
Fort Lauderdale, FL 33309
Phone: 954-341-1000
Fax: 954-341-1001
www.globe-engineering.com

CIVIL ENGINEERING DETAILS
SKYLAND PLAZA
118 N. FEDERAL HIGHWAY
DANIA BEACH, FLORIDA
DATE: 5/19/05
DRAWN BY: JLM
CHECKED BY: JLM
APPROVED BY: JLM

DATE: 5/19/05
PROJECT NO: 2011-009
SHEET NO: 17
SCALE: C-7 (1" = 6')

KBP CONSULTING, INC.

September 26, 2014

Mr. Martin Pilote, PE, LEED AP BD+C
Globe Engineering, Inc.
4839 SW 148th Avenue, Suite 507
Fort Lauderdale, Florida 33330

Re: Skyland Plaza – Trip Generation Analysis

Dear Marty:

Per your request, KBP Consulting, Inc. has conducted a trip generation analysis of the proposed Skyland Plaza development to be located on the east side of Federal Highway just north of NE 1st Street in Dania Beach, Florida. Based upon information provided by the architect, we understand that the subject mixed-use development will consist of the following:

- Retail: 4,596 square feet
- Restaurant: 3,870 square feet
- Residential: Two (2) one-bedroom apartments

Trip Generation Analysis

This trip generation analysis was conducted using the PM Peak Hour trip generation rates published by Broward County. The applicable land uses and the corresponding trip generation rates are as follows:

- Garden Apartment: 0.60 trips per dwelling unit
- Restaurant: 9.90 trips per 1,000 square feet
- Commercial (Less Than 20,000 square feet): 10.85 trips per 1,000 square feet

The resulting trip generation analysis for Skyland Plaza is summarized in Table 1 below:

Table 1 Trip Generation Analysis Skyland Plaza - Dania Beach, Florida		
Land Use	Size	PM Peak Hour Trips
Apartment	2 DU	1
Restaurant	3,870 SF	38
Retail	4,596 SF	50
Total		89

Compiled by: KBP Consulting, Inc., September 2014.

Source: Trip generation rates published by Broward County.

If you have any questions or require additional information, please do not hesitate to contact me.

KBP CONSULTING, INC.


Karl B. Peterson, P.E.

Florida Registration Number 49897

Engineering Business Number 29939

9/26/14

8400 North University Drive, Suite 309, Tamarac, Florida 33321

Tel: (954) 560-7103 Fax: (954) 582-0989



One Aventura Executive Center20900 NE 30TH Ave., suite 914

Aventura, FL 33180

Phone: 305-792-0015

Fax: 350-931-0279

www.absolute-idea.com

ARCH LICENSE NBR: AA26001868

ENG. CA No. 28787

a

architecture

Tuesday, October First, 2014

City of Dania Beach, Planning & Zoning Board
Dania Beach, Florida

Attention: Corinne Lajoie, Planning & Zoning Reviewer

Object: Skyland Plaza, 118 N. Federal Highway, Dania Beach,
FL 33004**Application #: SP-40-11**Subject: **VARIATIONS IN DESIGN** (Sec. 301-50)

Dear Corinne,

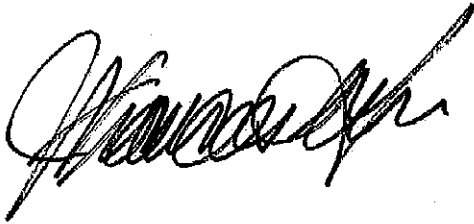
1. **VARIATION IN DESIGN** (to allow a no gallery roof, awning, or arcade as part of the modified shop frontage as required by Chapter 28, Section 303-40(N) and 311-20(4):
The Unified Land development Code of Dania Beach is requesting to provide an awning structure or an arcade on 40% of the façade on US 1. We do not provide arcade or awning on US 1 but we do provide arcades inside the owner property for all the entrances of all commerce. We treated the façade on US 1 using an architectural language & scale that is welcoming to pedestrian. We believe that this variation in design is a reasonable accommodation of design flexibility that results in a design that is consistent with the intent and principles that govern the standard for which this variation is requested. This variation in design is an alternative that works as well as the prescribed standard.
2. **VARIATION IN DESIGN** (to reconcile conflicting requirements):
The Zoning Code requires 75% of the new construction to be on the site line on US 1. At the mean time FDOT requires to respect sight distance for right turn outbound movement for northbound US 1 traffic. Refer to FDOT letter issued on January 19th 2012. The width of the entrance shall be 24'-0" with a radius of 25'. To respect those conflicting regulations, we propose a variance in design to move back Building 1 from 3'-2" and therefore reducing the required setback of the building to 1st Avenue from 15'-0" to 12'-0".
3. **VARIATION IN DESIGN** (to allow no landscape island in a row of parking where required by Chapter 28, Section 275-10(c)(1):
The requirement reads as follow:
(1)
There shall be no more than twelve (12) parking stalls along the same parking aisle without an eight-foot-wide by fifteen-foot-long intermediate landscape peninsula (exclusive of curb dimensions). Each peninsula shall have a minimum of two (2) category 2 or category 3 trees, or a minimum of one (1) category 1 tree, provided that the peninsula width is increased to ten (10) feet.

We request that our proposed site plan be accepted as proposed, as it shows the provision for required number of parking spaces required by the city for all the current and future phases of the project. As shown on site plan SP-2, we provide an Island between Stall 27 & 28, which is just short of the requirement. We believe, considering

the small size of the development, and the beautification that will result in our new landscape, that this request is a reasonable accommodation of design flexibility done for the purpose of meeting exactly the parking requirements for all the proposed phases of the development.

End of this report.

IDEA (International Design Engineering & Architecture, LLC).

A handwritten signature in black ink, appearing to read 'Jean-Francois Gervais', written in a cursive style.

Jean-Francois Gervais AIA, LEED AP
Director IDEA

CC Gilles Grenier, Owner; S L'Ecuyer, MA Levesque, IDEA.

international

One Aventura Executive Center

20900 NE 30TH Ave., suite 914

Aventura, FL 33180

Phone: 305-792-0015

Fax: 350-931-0279

www.absolute-idea.com

ARCH LICENSE NBR: AA28001856

ENG. CA No. 28787

a

architecture

Thursday, August 7th, 2014

City of Dania Beach, Planning & Zoning Board
Dania Beach, Florida

Attention: Corinne LaJoie, Planning & Zoning Reviewer

Object: Skyland Plaza, 118 N. Federal Highway, Dania Beach,
FL 33004

Application #: SP-40-11

Subject: **VARIATIONS IN DESIGN** Sec. 307-30 (D) & (E)

Dear Corinne,

1. We are asking for a VARIATION IN DESIGN to allow mechanical equipment along street frontage in the south east corner of the property; the equipment will properly screened with landscaping, and will not constitute a visual offense.

Thank you for your consideration in the matter,

Best regards,



IDEA (International Design Engineering & Architecture, LLC).

Stephane L'Ecuier, AIA Florida AR93637



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Aventura, FL 33180
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www.absolute-idea.com
ARCH LICENSE NBR: AA26001856
ENG. CA No. 28787

Monday, January 23rd, 2012

City of Dania Beach, Planning & Zoning Board, Dania Beach, Florida

Attention: Planning & Zoning Reviewer

Object: Skyland Plaza, 118 N. Federal Highway, Dania Beach,
FL 33004

Application #: SP-40-11

Subject: Response Narrative to City of Dania Beach
**Physical and Programmatic Mobility Enhancements
Approved for Incorporation in Project Traffic
Mitigations Plans**

To whom it may concern,

Please find hereafter our involvement to the Mobility program for Planning & Zoning approval.

#8. Install traffic calming devices on neighborhood streets in the vicinity of the site, improving pedestrian and bicycling safety by reducing motorized vehicles travel speeds.
Response: We are installing signage on NE 1st Avenue to improve pedestrian safety. Please refer to sheet C-2.

#14. Provide bus stop facilities or expanded bus stop facilities such as landings, benches, shelters, trash receptacles and ongoing maintenance and stewardship of such facilities in the public domain that are adjacent to or near the development site.
Response: There is an existing bus stop facility located adjacent to our site on federal Highway.

#18. Construct new or widened sidewalks.
Response: We are constructing new sidewalks on NE 1st Avenue.

#19. Plant shade trees along existing or new sidewalks.
Response: We are planting new shade trees along sidewalks. Refer to Landscaping plans.

#20. Improve pavement conditions along existing sidewalks including relocation of obstacles such as sign posts, utility poles, benches, fire hydrants and water meters, or other surface-mounted devices with flip lids.
Response: We are removing existing water meters on Federal Highway. Refer to sheet C-1.

#29. Provide free on-site bike racks or bike lockers.
Response: We are providing 1 bike rack on site. Refer to sheet SP3 & detail 7 on sheet SP14.

End of this report.

IDEA (International Design Engineering & Architecture, LLC).

Stephane L'Ecuyer, AIA Florida AR93637



NOTICE OF PUBLIC HEARINGS
CITY OF DANIA BEACH, FLORIDA

A Public Hearing will be conducted by the City of Dania Beach City Commission meeting on the following date:

DATE: Tuesday, October 14, 2014

TIME: 7:00 p.m. or as soon thereafter as the same may be heard

PLACE: City Commission Chambers
Dania Beach Administrative Center
100 West Dania Beach Blvd.
Dania Beach, FL 33004

SUBJECT: **SP-40-11MOD:** The applicant, Gilles Grenier, on behalf of Skyland Plaza, LLC, is requesting to modify a previously approved site plan for the property located at 118 N. Federal Highway.

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DANIA BEACH, FLORIDA, APPROVING THE REQUEST MADE BY GILLES GRENIER ON BEHALF OF SKYLAND PLAZA, LLC, FOR SITE PLAN APPROVAL WITH ASSOCIATED DESIGN VARIATIONS FOR PROPERTY LOCATED AT 118 NORTH FEDERAL HIGHWAY IN THE CITY OF DANIA BEACH, FLORIDA; PROVIDING FOR CONFLICTS; FURTHER, PROVIDING FOR AN EFFECTIVE DATE.

Copies of the proposed requests are available for viewing in the Community Development Department, 100 West Dania Beach Boulevard, Dania Beach, Florida, and may be inspected by the public during normal business hours. For more information please call the Planning Division at (954) 924-6805 x3643.

In accordance with the Americans With Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk's office, 100 W. Dania Beach Blvd, Dania Beach, FL 33004, (954) 924-6800 x3623, at least 48 hours prior to the meeting.

Please be advised that if a person decides to appeal any decision made by Local Planning Agency, the Planning and Zoning Board or the City Commission with respect to any matter considered at this hearing, such person will need a verbatim record of the proceedings and for this purpose such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to based. The city does not provide or prepare such record pursuant to f.s. 286.0105.

Community Development Department
Publish: Friday, October 3, 2014
Planning Division

504234011760
KODNER,BRUCE B
24 S DIXIE HWY
LAKE WORTH FL 33460

504234011500
F & P APARTMENTS LLC
167 N FEDERAL HWY
DANIA BEACH FL 33004

504234011680
SKYLAND PLAZA LLC
2734 POLK ST UNIT F
HOLLYWOOD FL 33020

504234320140
FUENTES,PEDRO
114 NE 1ST CT
DANIA BEACH FL 33004

504234011720
FALLAD,JORGE M &
VELEZ,MARIA A
102 N FEDERAL HWY
DANIA BEACH FL 33004

504234320240
BARTON,DIANE P
3619 TEXAS SOTOL
SAN ANTONIO TX78261

504234011510
NEVER ON SUNDAY INC
129 N FEDERAL HWY
DANIA BEACH FL 33004

504234000510
YUEN,WAI KWONG S
1896 WAYNE CIR
SAN JOSE CA 95131

504234320250
RIEDEL,WAYNE
3129 OAKLAND SHORES # A109
OAKLAND PARK FL 33309

504234000540
CARVALHO,LOUISE A
LOUISE A CARVALHO REV LIV TR
104 NE 2 ST
DANIA BEACH FL 33004

504234011770
DANIA PLAZA INC
PO BOX 1814
DANIA BEACH FL 33004

504234011660
DANIA BEACH ENTERPRISES LLC
3801 NORTH PARK ROAD
HOLLYWOOD FL 33021

504234040091
LANG,INGO
4200 SW 102 AVE
DAVIE FL 33328

504234011640
HARRISON,RODNEY
SMITH,KENNETH J
4865 SW 58 AVE
DAVIE FL 33314

504234000520
DURHAM,SANDRA L
DURHAM,MARCELLA
132 NE 1 AVE
DANIA BEACH FL 33004

504234320170
CONTI,HARRY A JR H/E
CONTI,BARBARA ANN
126 NE 1 CT
DANIA BEACH FL 33004

504234320160
JEFFCOAT,JULIE L
122 NE 1 CT
DANIA BEACH FL 33004

504234000500
SMITH,DEBRA CARVALHO
146 NE 1 AVE
DANIA BEACH FL 33004

504234320110
DORENKOTT,JOHN B
12306 210 TER
O'BRIEN FL 32071

504234120160
SCHINDLER,CHARLES E
SCHINDLER,JUDY SOOKDEO
6839 OLDECASTLE CT
CHARLOTTE NC 28277

504234011620
BERKEN,GILBERT &
BERKEN,MAGDALEN ROSE
3500 ISLAND BLVD #D404
AVENTURA FL 33160

504234320180
GALLAGHER,SHAUN
134 NE 1 CT
DANIA BEACH FL 33004

504234011740
HOWE,ROBERT WILLIAM &
HOWE,BARBARA
60 N FEDERAL HWY
DANIA BEACH FL 33004

504234320130
MARKS,ROBERT L & BARBARA A
2012 HOLLYWOOD BLVD
HOLLYWOOD FL 33020

504234011871
67-75 NORTH FEDERAL ASSOC LLC
1210 STIRLING RD STE 7-B
DANIA BEACH FL 33004

504234320260
DAVID L WATTS 2005 TR
324 ALCAZAR ST
SAINT AUGUSTINE FL 32080

504234040090
LANG,INGO
LANG INVESTMENTS INC
4200 SW 102 AVE
DAVIE FL 33328

504234320270
WILKE,DAVID L
113 NE 1 CT
DANIA BEACH FL 33004

504234320280
ROSE,CLERANCE
ROSE,TAKA CHA
125 SE 2 CT
DANIA BEACH FL 33004

504234011480
FRANCO'S AUTO REPAIR INC
167 N FEDERAL HWY
DANIA BEACH FL 33004

504234320230
WOOD DEVELOPMENT CO INC
888 E LAS OLAS BLVD 4 FLOOR
FORT LAUDERDALE FL 33301

504234040070
CARL J & EDNA VETTORI REV LIV TR
STANTON,WALTER
38 NE 1 AVE
DANIA BEACH FL 33004

504234320290
OTCHYCH,MARY ANN
OTCHYCH,ROMAN
210 SE 1 TER
DANIA BEACH FL 33004

504234011650
NANDY INC
140 N FEDERAL HWY
DANIA BEACH FL 33004

504234011580
SOUTH FLORIDA HAITIAN
EVANGELICAL BAPTIST CHURCH
PO BOX 816
DANIA BEACH FL 33004

504234320220
HE,XIAO XIA
242 S FEDERAL HWY
DANIA BEACH FL 33004

504234320150
TILLEY,AMANDA H
118 NE 1ST CT
DANIA BEACH FL 33004

504234120290
MARSHALL LABREE POST 304
AMERICAN LEGION INC
41 NE 1ST CT
DANIA BEACH FL 33004

504234011700
FRUMAN,SAMUEL I &
KELKER,DORIS
1913 S OCEAN DR APT 127
HALLANDALE BEACH FL 33009